



CITY OF TALENT • COMMUNITY DEVELOPMENT

PO Box 445, Talent, Oregon 97540

Phone: (541) 535-7401 Fax: (541) 535-7423 www.cityoftalent.org

GENERAL LAND USE APPLICATION

Project Description <h3>Clearview Of Talent</h3>		
Property Owner Clearview Development LT Holding, LLC	Mailing Address (include city, state, zip) 2330 Crater Lake Ave. Medford OR 97503	Phone 541 944-3704
Street Address or Property Location 160 North Pacific Highway, Talent	Email Address evanarcherd@yahoo.com	
Applicant/Consultant (if not owner) Owner	Mailing Address (include city, state, zip)	Phone

Assessor's Map Number (Township, Range, Section, Quarter Section)	Tax Lot Number	Acres	Zone
38-1W- 23 DC	3400	1.28	CBH
38-1W- 23 DB	4501	0.98	CBH

Subzone (if applicable) _____

Pre-Application Meeting Completed? Yes No N/A Date Completed: _____

APPLICATION TYPE (check all boxes that apply)

<input checked="" type="checkbox"/> Site Development Plan Review	<input type="checkbox"/> Conditional Use Permit
<input type="checkbox"/> Variance	<input type="checkbox"/> Home Occupation
<input type="checkbox"/> Fence	<input type="checkbox"/> Code Interpretation
<input type="checkbox"/> Annexation	<input type="checkbox"/> Comprehensive Plan Amendment (text)
<input type="checkbox"/> Accessory Dwelling Unit	<input type="checkbox"/> Comprehensive Plan Map/Zoning Map Change
<input type="checkbox"/> Appeal	<input type="checkbox"/> Development Code Amendment

ACCURACY STATEMENT

I hereby certify that the statements and information contained in this application, including the enclosed drawings and the required findings of fact, are in all respects, true and correct. I understand that all property pins must be shown on the drawings and visible upon the site inspection. In the event the pins are not shown or their location is found to be incorrect, the owner assumes full responsibility.

Applicant's Signature

2-7-19

Date

Property owner's Signature (required)

2-7-19

Date

APPLICATION FEES & DEPOSITS
(Application fees are calculated by ACTUAL PROCESSING COSTS)

Fees and deposits are intended to cover the full cost for processing applications. Applicants seeking development which requires more than one type of review (such as site plans and conditional use permits) must pay all applicable fees and deposits.

Application Deposits: Certain application fees are represented by a deposit amount. Applicants shall be charged for actual processing costs incurred by the City. The actual costs charged to the City for technical review of land use applications, including but not limited to City's planning, public works, engineering, administration, legal, wetland specialists, geologists, biologists, arborist, and any other services provided in processing applications, shall be charged to Applicant, at the rate(s) charged to the City. In addition, the actual costs of preparing and mailing notices to abutting property owners or others required to be notified, the costs of publishing notices in newspapers, and any other mandated costs shall be charged to applicant. Any additional costs incurred beyond the deposit amount shall be charged to and paid by the applicant on a monthly basis. The applicant agrees that any deficiencies shall be collected from applicant, and that applicant's failure to pay these amounts triggers the City's option to pursue any or all remedies, as listed below.

Fixed Fee Applications: Fees are non-refundable and are based on average application processing costs rounded to the nearest dollar.

Applicant acknowledges and agrees that Applicant's failure to pay City costs over the deposit fee amounts, as charged monthly by the City, may result in the City pursuing any or all legal remedies available, including but not limited to liening property in the amount owed; prosecution for violation of the City's current fee resolution and City land development or division ordinances; issuance of a stop work order, non-issuance of building permits for property, or cessation of related proceedings; set-off against any reimbursement owed; and turning amounts owed over to a collection agency.

Applicant's Signature

Property owner's Signature (required)

2-19-19

Date

2-7-19

Date

I hereby acknowledge that my applications may be consolidated. When an applicant applies for more than one type of land use or development permit (e.g., Type-II and III) for the same one or more parcels of land, the proceedings shall be consolidated for review and decision. If more than one approval authority would be required to decide on the applications if submitted separately, then the decision shall be made by the approval authority having original jurisdiction over one of the applications in the following order of preference: (1) City Planner, (2) the Planning Commission, and (3) the City Council. Joint meetings between governing bodies may be held to streamline the decision process.

Applicant's Signature

Property owner's Signature (required)

Date

Date

FOR OFFICE USE ONLY			
Deposit Paid (Amount)	Date	Received by	File Number
\$ 1036 ⁰⁰	2-8-19	Beadley	3PR#19-001

In compliance with the Americans with Disabilities Act, if you need special assistance, please contact TTY phone number 1-800-735-2900 for English and for Spanish please contact TTY phone number 1-800-735-3896.

The City of Talent is an Equal Opportunity Provider

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

**PROJECT DESCRIPTION
January 16, 2019**

PROJECT NAME: Clearview of Talent, A Planned Unit Development

TYPE OF PLANNING ACTION: Request for Site Plan Review of a Site Plan Modification for the Clearview of Talent Planned Unit Development.

PROJECT INFORMATION:

OWNER/APPLICANT:

Clearview Commercial Long Term Holding, LLC
C/O Evan Archerd
2330 Crater Lake Avenue
Medford, OR 97504
Tel: 541 944-3704

SITE DESIGN:

Bruce Abeloe, AIA
827 Alder Creek Drive Suite A
Medford, OR 97504

Karic Roberge
2330 Crater Lake Avenue
Medford, OR 97504

SURVEYOR:

Jim Hibbs
LJ Friar & Associates
1585 Siskiyou Blvd.
Medford, Oregon 97504
Tel: 541 772-2782

PROJECT ADDRESS:

160 North Pacific Highway

LEGAL DESCRIPTION:

38 1W 23 DC Tax Lot 3400 and 38 1W 23 DB Tax Lot 4501

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

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**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

COMPREHENSIVE PLAN DESIGNATION:

Commercial

ZONING DESIGNATION:

CBH

SITE DESCRIPTION:

The sites are located on the east and west sides of Clearview Parkway and the south side of Poppy Bay Place and Wintersage Circle. Tax lot 3400 is an irregular shaped parcel of land that contains a total of 1.26 acres. Tax lot 4501 is an irregular shaped parcel of land that contains a total of 0.98 acres. Tax Lot 4501 also fronts onto Highway 99, South Pacific Highway. Both sites are part the Clearview of Talent Planned Unit development a project that was approved by the City Of Talent on September 2, 2005 as file number PUD 05 – 02.

PROJECT DESCRIPTION AND BACKGROUND:

The Clearview of Talent development, as originally approved contained 58 residential units, five live work units and 20,960 ft.² of retail/office space and 10,080 of ground floor Live Work space. Recently a site plan modification was approved (SPR-2018-001) to convert one of the live work unit locations to a six-plex apartment. All infrastructure including roads and utilities for the original project have been completed.

Over the past several years the Clearview Development Group has had numerous conversations with banking institutions in the Rogue Valley area. The purpose of the discussions was to locate a new bank branch within the Clearview Development in the “Building F” location on the original Clearview Commercial plan, shown on Exhibit A of this submittal. This location does not have Highway 99 frontage, but rather sits behind the existing commercial building that includes Subway, Talent Cafe, Crown Market, etc.

Recently, the two existing banking facilities in Talent have both closed. Given this situation, the Clearview group has intensified its efforts to attract a banking facility to Clearview. All of the lenders we have spoken with, including most recently Rogue Credit Union, have insisted that a bank branch needs to be located along Highway 99 for adequate exposure. Further factual and criteria justification for this site plan modification are provided later in these findings related to safety, functionality and the fact that the relocated drive thru location better conforms to the current standards for Drive Thru uses in Section 8.3L.246.

**Clearview of Talent Site Plan Modification February 2019
- Revised Building F and Relocated Bank Drive-Up**

Therefore, as part of this site plan proposal, we are requesting that the bank drive up facility that was approved as part of the original Clearview Site Plan adjacent to Building F, be relocated to the location of Building D in the original Clearview site plan Shown on Exhibit B.

In addition, this proposal includes a modification of the original site plan to replace the Commercial Building F, that was originally planned as the bank, with a new live-work, mixed use Building F The approved drive-thru bank location described above will be moved to Building D. The location and schematic design of the new Building F and the relocated drive up facility are shown on Exhibit B.

The new Building F will have a total of 2,037 ft.² of ground floor commercial area and 2 single car garages with a total of 756 ft.² to serve the second floor residential units. The second floor contains two, 3 bedroom 2 bath residential units. The original Building F had 2,284 square feet of commercial area on the ground floor and no second floor.

The original parking ratio for the entire Clearview commercial development area was 1 parking space for each 220 ft.² of building area. This proposal adds two residential units but adds two residential garages and reduces the commercial area by 247 ft.².

Note, we are not submitting architectural plans for Building D at this time until we finalize plans with a banking institution. A schematic drawing of a possible drive through banking facility is shown on Exhibit B This schematic plan is based on the actual site plan of the Rogue Credit Union Banking facility in Eagle Point.

PUD ORDINANCE 8-3 Division L. Article 3.

The Clearview development was approved in September of 2005 under the Planned Unit Development Code section , Division 8–3 L. Article 3 of the Talent Land Use ordinance. The PUD section of the ordinance was eliminated from the code in April 2008.

However, the previous PUD ordinance allowed for amendments to an approved PUD concept plan through a process similar to the site amendment plan criteria contained herein, including a public hearing.

Specifically, **Article 8-3 L.385 (F)** in the original PUD ordinance stated the following:

“The location of buildings, proposed streets, parking lot configuration, utility easements, landscaping or other side improvements shall be proposed on the concept plan, or modified through conditions of approval. Significant changes in the location or alignment of these features as determined by the planning commission shall require an amendment to the concert plan (new public hearing).”

**Clearview of Talent Site Plan Modification February 2019
- Revised Building F and Relocated Bank Drive-Up**

The purpose of this site plan amendment is to conform to the original procedure for a PUD Amendment outlined above as well as to comply with current planning procedures.

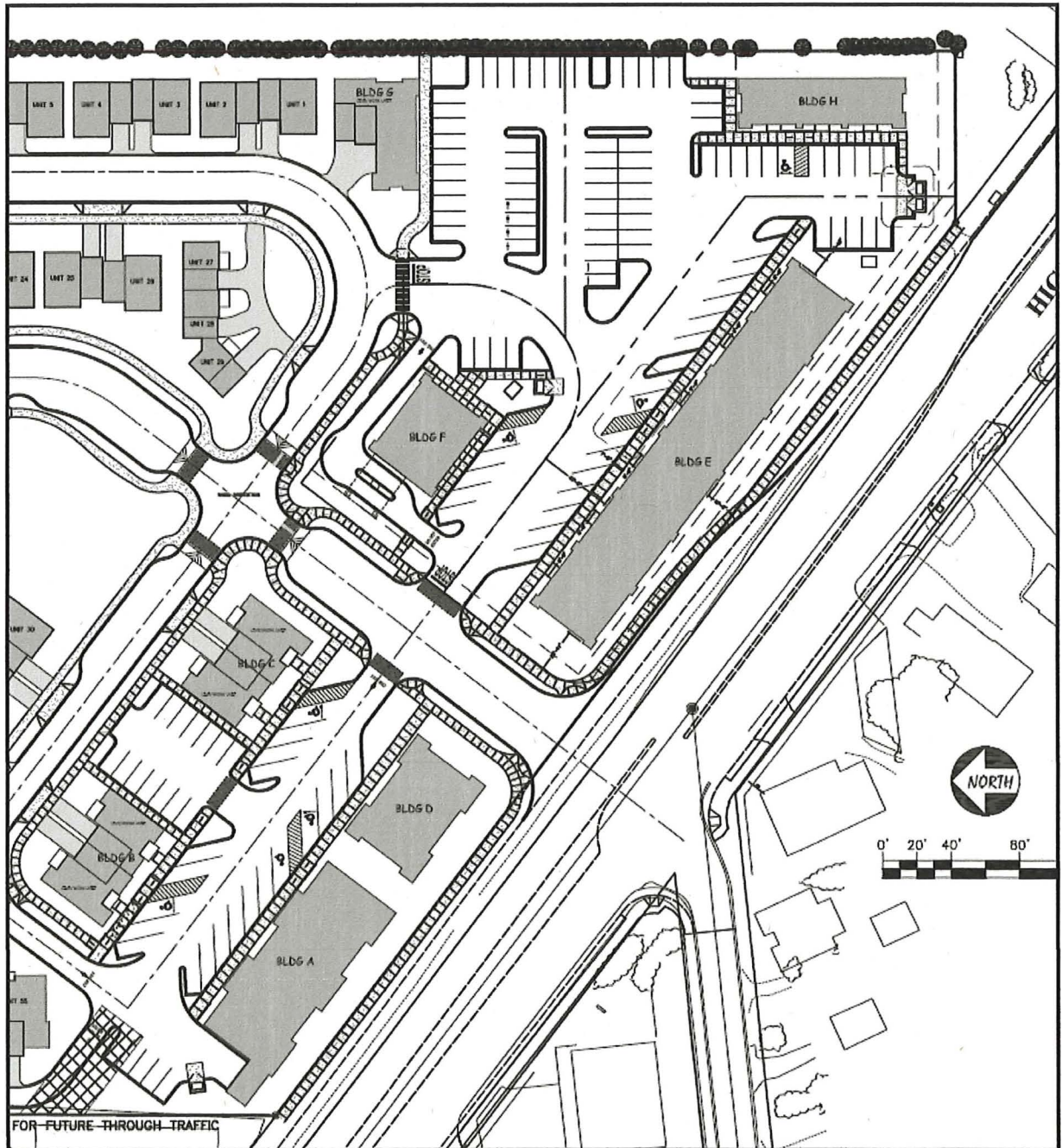
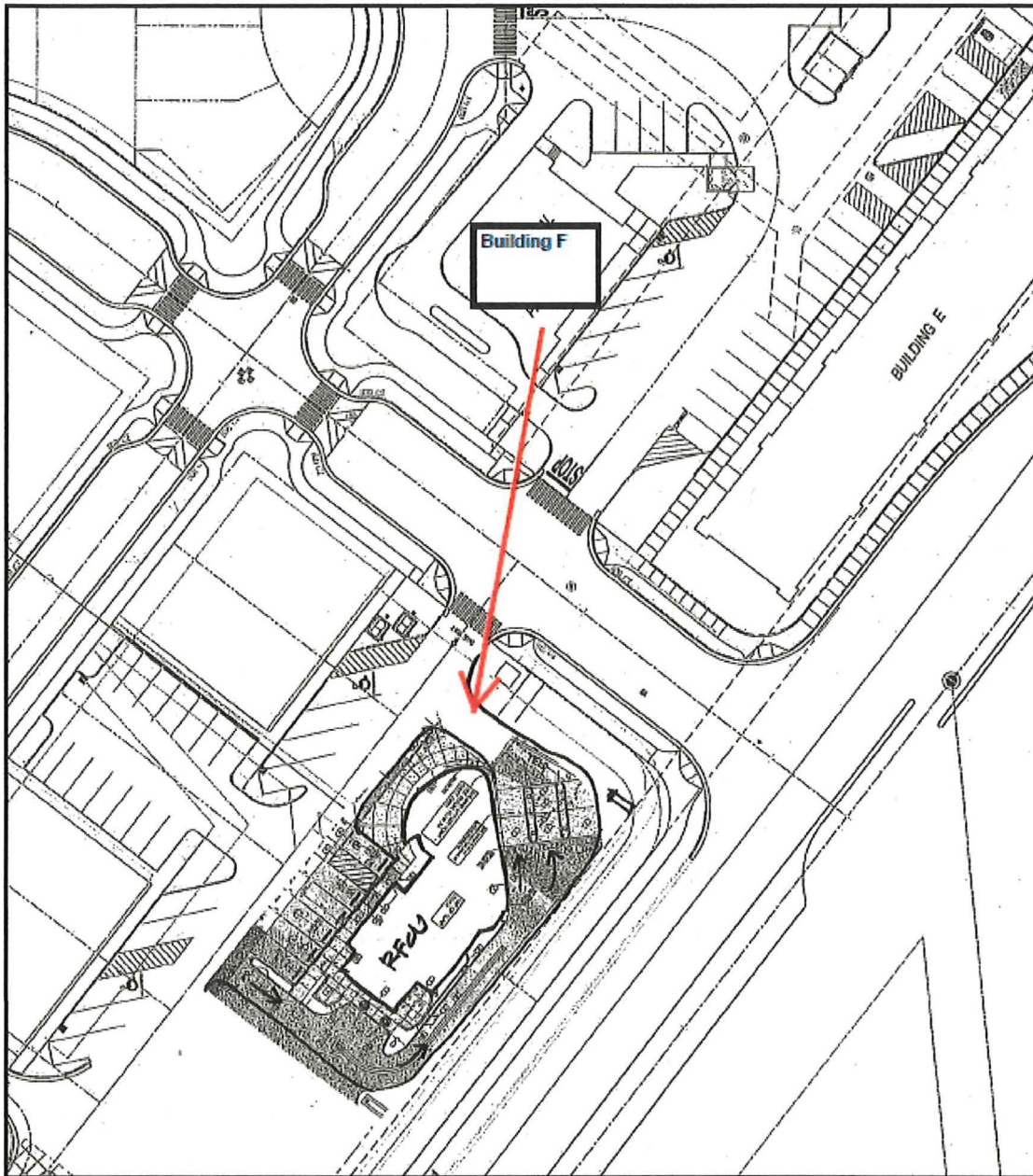


EXHIBIT A ORIGINAL APPROVED CLEARVIEW SITE PLAN

**Clearview of Talent Site Plan Modification February 2019
- Revised Building F and Relocated Bank Drive-Up**



**EXHIBIT B SITE PLAN SHOWING DRIVE UP LOCATION RE-LOCATED
TO BUILDING D LOCATION**

Note: The RFCU footprint shown in the plan above is the actual building and drive-up layout of the Rogue Credit Union facility in Eagle Point, OR, designed by Bruce Abeloe. **THIS IS SHOWN FOR SCHEMATIC INFORMATION PURPOSES ONLY. WE ARE REQUESTING APPROVAL OF THIS EXACT PLAN AT THIS TIME.**

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

FINDINGS IN ACCORDANCE WITH SECTION 8-3D.3 Highway Central Business District (CBH) REQUIRED FOR APPROVAL OF THE PLAN

The CBH zone, the Central Business District Highway Zone serves as a hub for government, public services and social activities and permits retail trade, business services and can include residential uses to strengthen the livability of the community core. The Clearview development was approved as part of this zone in 2005 and the proposed relocation of the existing approve drive up is consistent with the original approval and the intent of the CBH zone.

FINDINGS IN ACCORDANCE WITH SECTION 8-3L.150 REQUIRED FOR APPROVAL OF THE PLAN

After an examination of the site, the Planning Commission shall approve, or approve with conditions the site development plan if all of the following findings are made:

- A. All provisions of this Chapter and other applicable City ordinances and agreements are complied with;

The Clearview of Talent Detailed Development Plan was originally approved in September 2005. Per the original approval, Building F contained a total of 2,284 ft.² of commercial area on the ground floor. The new Building F has a total of 2,037 ft.² of commercial area on the ground floor and 2 residential garages with 756 ft.² to serve the second floor residential units. Therefore, the new proposal does not significantly alter the commercial area or parking on the site plan.

- B. The proposed development will be in conformance with the intent and objectives of the zone in which it will be located;

The proposed development is in conformance with the intent and objective of the CBH zone. Residential uses in conjunction with commercial uses are encouraged in the CBH zone.

- C. All applicable portions of the City comprehensive plan or other adopted plan are complied with;

The original development met all requirements of the city's comprehensive plan and this Modification is consistent with that approval.

- D. The proposed development will be compatible with or adequately buffered from other existing or contemplated uses of land in the surrounding area;

This Modification is consistent with the original development plan that was approved which was mixed use residential and commercial development.

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

- E. That no wastes, other than normal water runoff, will be conducted into City storm and wastewater facilities;

There is no change in the proposed storm water facilities that have already been installed.

- F. The following are arranged so that traffic congestion is avoided, pedestrian and vehicular safety, solar access, historic sites, and the public welfare and safety are protected, and there will be no adverse effect on surrounding property:

1. Buildings, structures, and improvements;

The original project plan was designed to avoid traffic congestion and promote pedestrian and vehicular safety. There is no adverse effect on any surrounding property.

2. Vehicular and pedestrian ingress and egress, and internal circulation;

There is no change proposed to the access. The circulation pattern is improved within the development in this site plan modification by the addition of more than 100% stacking distance for the banking drive up in the new location.

3. **Parking and loading facilities;**

There is negligible overall net change in parking per the revised site plan. The reduced size of the downstairs commercial space and the addition of two residential garages results in a net loss of at most one parking space.

4. Setbacks and views from structures;

The setback of the proposed new building will meet all applicable setback standards.

Furthermore, the revised location of the drive-through is much further from the residential uses in the Clearview Development. It will result in less negative externalities to the residents in the subdivision including but not limited to:

- ✓ **Less vehicle exhaust in the residential areas of the project**
- ✓ **Less vehicle noise close to housing.**
- ✓ **Less traffic congestion in proximity to residential driveways with the potential for public safety issues.**
- ✓ **Less pedestrian conflicts in the parking areas of the existing commercial building at 160 North Pacific Highway.**

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

5. Walls, fences, landscaping and street and shade trees;

There is no change proposed in any walls, fencing or landscaping in the site plan. All parking lot landscaping per the original plan have been completed in the location of Building F has been completed. We are not proposing construction of Building D at this time.

6. Lighting and signs; and

All parking lot lighting is already in place. In the building F location. Parking lot lighting in the Building D location will be completed at the time of construction. No additional monument signs are proposed at this time.

7. Noise generation facilities and trash or garbage depositories.

The trash depository was relocated as part of a previous approval.

- G. The applicant has made any required street and other needed public facility and service improvements in conformance with the standards and improvements set forth in this Chapter and the applicable portions of the City Subdivision Code or has provided for an adequate security arrangement with the city to ensure that such improvements will be made.

All streets and street improvements and pedestrian improvements have been completed as per the original approval of the project.

Additional Findings IN ACCORDANCE WITH SECTION 8.3 D:

Section 8-3D. 340 of the City of Talent Land Development code details the uses permitted subject to Type-3 site development plan review in the CB H zone. Section I. is re-printed below:

8-3D.340 (I.) Multi-family housing. In the CBH zone, multi-family housing is allowed on both the ground level and upper levels, provided total ground level area in housing is less than 50 percent of the parcel's gross area and commercial storefronts are provided along the street frontage.

The new building consists of 2,037 ft.² of commercial space on the ground floor. There is also 197 ft.² of residential stairway access to the second floor and 756 ft.² of residential garages on the first floor. Therefore, the proposal

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

meets this requirement. Commercial storefronts are provided along the street frontage.

Furthermore, ground-level housing for this proposal and the previous approved 6 plex under construction 4,063 ft.² with an overall site area of 1.26 acres. (54,886 ft.²). Therefore, the total ground level housing is less than 50% of the parcel's gross area.

Additional Findings IN ACCORDANCE WITH SECTION 8.3 J:

8-3J.121 SETBACK REQUIREMENTS

The two buildings in the revised site plan meet the setback requirement of the zone

8-3J.122 BUILDING COVERAGE

The two buildings in the revised site plan meet the building coverage requirement of the zone

8-3J.123 BUILDING HEIGHT

The two buildings in the revised site plan meet the maximum height restriction of two-and-a-half (2½) stories or thirty (30) feet, whichever is less

8-3J.126 MINIMUM FRONTAGE REQUIREMENT

Both sites meet the minimum twenty (20) feet of frontage on a on a public street requirement.

8-3J.130 ADEQUACY OF PUBLIC FACILITIES AND SERVICES

All public facilities were installed to both lots as part of the original development of the Clearview PUD. These include 8" water lines, 8" sewer lines and 12" storm drain lines.

8-3J.210 PURPOSE (Residential Lot Improvements)

To the extent that this section applies to this application, the new live-work, mixed use Building F meets the residential standards. As detailed under section 8-3D.340 (I.) Multi-family housing, in the CBH zone, multi-family housing is allowed on both the ground level and upper levels, provided total ground level area in housing is less than 50 percent of the parcel's gross area and commercial storefronts are provided along the street frontage. The new building consists of 2,037 ft.² of commercial space on the ground floor. There is also 197 ft.² of residential stairway access to the second floor and 756 ft.² of residential garages

**Clearview of Talent Site Plan Modification July 2018
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8-3J.300 DESCRIPTION AND PURPOSE (Tree Protection and Preservation)

There are not existing trees affected by this proposal.

8-3J.420 MINIMUM LANDSCAPED AREA

A complete landscape and planting plan for the entire development was approved for the Clearview Development at the time the project was approved in September of 2005 as shown in Exhibit G. This proposal does not modify that original plan. Upon application for building permits for the buildings proposed on both sites, landscape plans for the specific sites will be submitted.

8-3J.510 / 8-3J.515 / 8-3J.610

A complete parking, access and circulation plan for the entire development was approved for the Clearview Development at the time the project was approved in September of 2005 as shown in Exhibit A. This plan addressed parking, access management, multi-modal circulation, public improvements, dedications and setbacks. The original parking ratio for the entire Clearview commercial development area was 1 parking space for each 220 ft.² of building area. This proposal adds two residential units but adds two residential garages and reduces the commercial area by 247 ft.².

Additional Findings IN ACCORDANCE WITH SECTION 8-3L.246 (H)

This section addresses the criteria for new Drive-in , drive -up and drive-through facilities under and application for a conditional use. The current proposal is a relocation of an existing approved drive up facility and therefore the specific requirements of this code section do not apply to this application. However, it is important to note the relocation of the existing drive through facility is in better compliance with these standards the current location.

8-3L.246 (H)

Section 4. Drive-up menu speakers and service windows shall be at least 200 feet from the nearest residentially zoned property line. Menu speakers shall not have a noise decibel reading greater than 55 decibels at the property line and shall otherwise comply with Talent Ord. #749 relating to unnecessary noises.

The existing Drive-up facility service window and menu speaker are approximately 80 feet from residentially zoned property. The re-located facilities are approximately 240 feet from residentially zoned property.

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

Section 5. Drive-up buildings shall have their primary orientation toward the public street rather than the parking area. Building entrances shall be oriented toward the street and shall be accessed from a public sidewalk. Where buildings are located on a corner, the building entrance shall be oriented toward the higher order street or to the lot corner at the intersection of the streets. Buildings shall be located as close to the intersection corner as practicable. Exceptions may be granted for topographic constraints, lot configuration, designs where a greater setback results in an improved access or for sites with multiple building spaces such as shopping centers where this standard is met by other building storefronts.

The existing Drive-up building's primary orientation is towards the common area parking lot. The re-located building's primary orientation is towards the street and is accessed via a public sidewalk. The building is also located as close to the intersection as possible.

Section 6. In addition to the Parking Area Improvements required as part of Article 8-3J.575, parking areas shall be designed to incorporate 5 of the 8 following design elements for visual, aesthetic and environmental relief:

- a. One shade tree per seven parking spaces;
- b. Bio-swale plant and filtration system;
- c. Storm water oil separators;
- d. Decorative landscape walls, max 24" in height;
- e. Porous concrete in "plaza" areas (sidewalks, plaza space, outdoor dining space, etc.);
- f. Mounded earth landscaping;
- g. 15' landscape or hardscape buffer between sidewalk and parking area;
- h. Use light colored paving materials with a high solar reflectance index (SRI) of at least .29 to reduce heat absorption for a minimum of 50% of the parking surface area.

At the time of final building design, the re-located project will meet five of these requirements.

Section 7. Drive-up buildings shall incorporate one square foot of "plaza space" for every 10 square feet of gross floor area. The plaza space must incorporate 3 of the 6 following design elements:

- a. Seating – 1 seat for each 500 square feet of building area;
- b. Shelter or windbreaks for inclement weather;
- c. Trees – 1 tree per 500 square feet of plaza space;
- d. A mixture of areas that provide both sunlight and shade;
- e. Water feature or art (may include decorative surface art);
- f. Outdoor eating areas.

At the time of final building design, the re-located project will meet three of these requirements.

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

Section 8. Drive-up buildings shall have a minimum first floor area ratio of 35% (building footprint area to lot size area). Plaza space may be considered as part of first floor area, but not greater than 30% of the required floor area ratio.

At the time of final building design, the re-located project will meet this requirement.

Section 10. Drive-up lanes shall either be flat or downhill to minimize excessive fuel consumption and exhaust during the wait in line.

At the time of final building design, the re-located project will meet this requirement.

Section 11. Drive-up lanes shall be designed to provide as much natural ventilation as possible to eliminate the buildup of exhaust gases.

At the time of final building design, the re-located project will meet this requirement.

Section 12. Drive-up lanes shall provide sufficient stacking to ensure that public rights-of-way, including sidewalks, are not obstructed.

The re-located project provides more than double the stacking area than the original location.

Section 14. Areas along the street without building frontage, between the street and the parking area or drive-thru lane, shall be landscaped in order to minimize visibility of vehicles and asphalt.

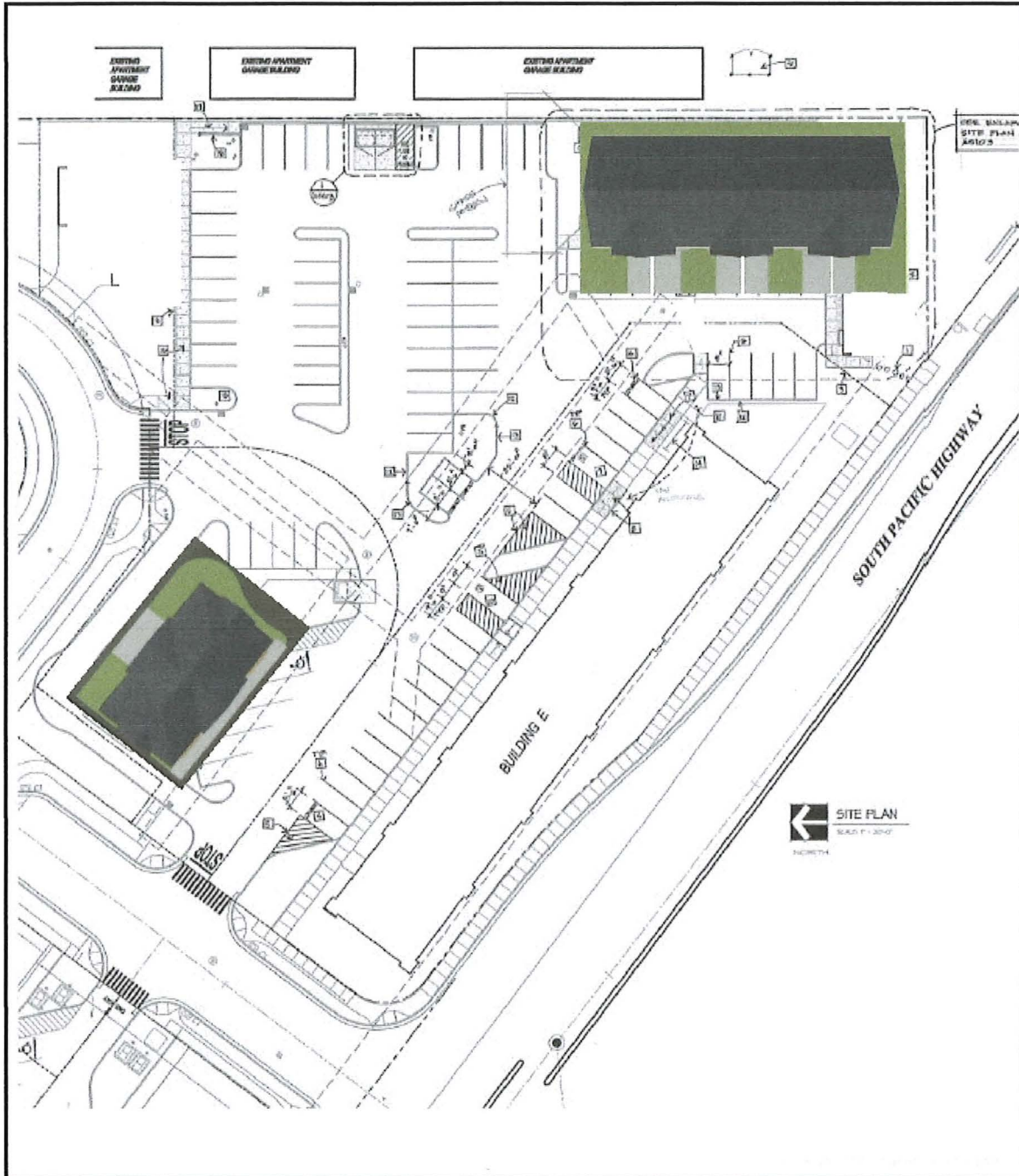
At the time of final building design, the re-located project will meet this requirement.

Section 15. Trash and recycle areas shall be screened from the public right-of-way.

At the time of final building design, the re-located project will meet this requirement.

**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

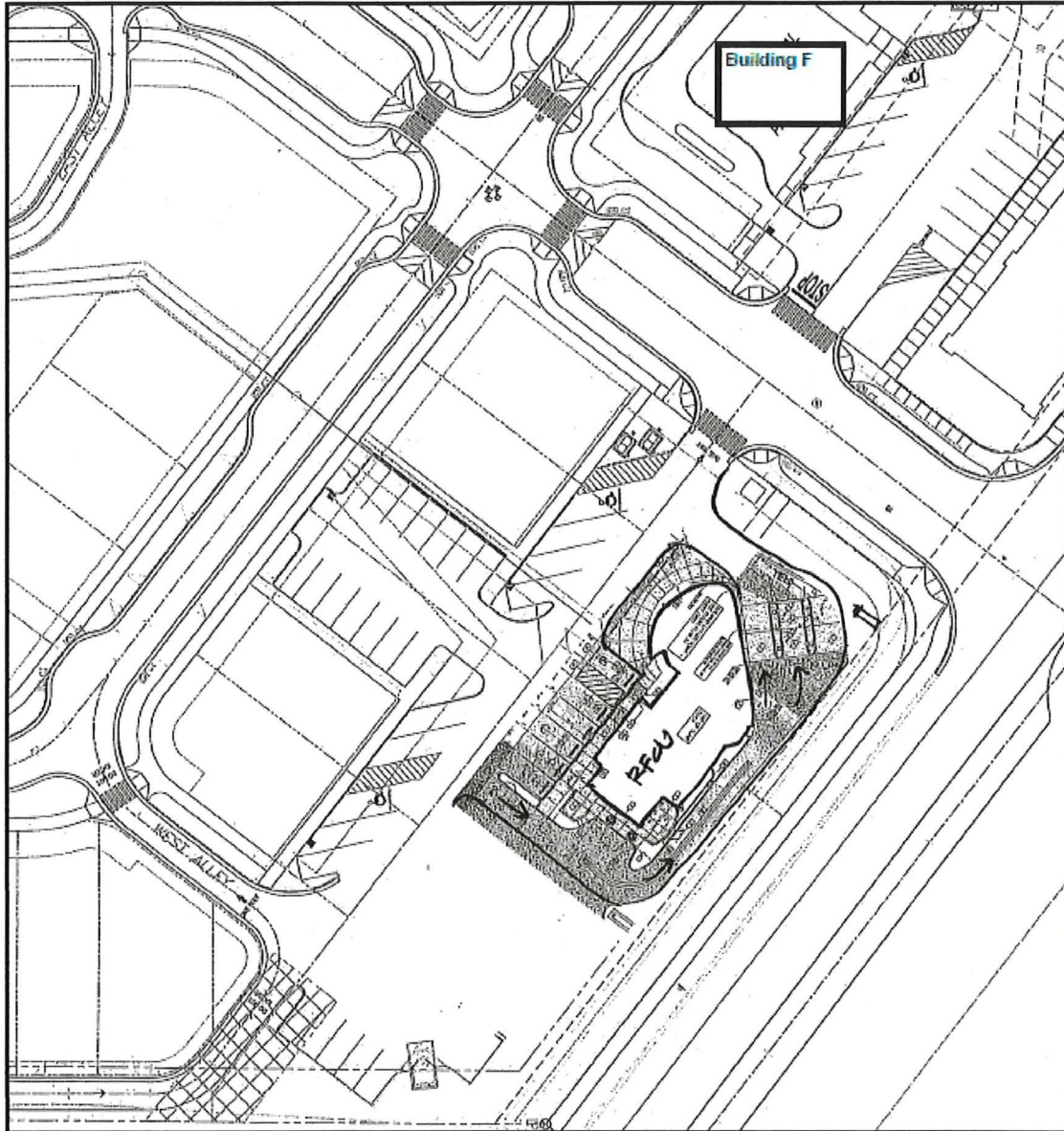
**EXHIBIT C
SITE PLAN SHOWING NEW BUILDING F WITH DRIVE-UP AND SIX-
PLEX BUILDING UNDER CONSTRUCTION**



**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

EXHIBIT D

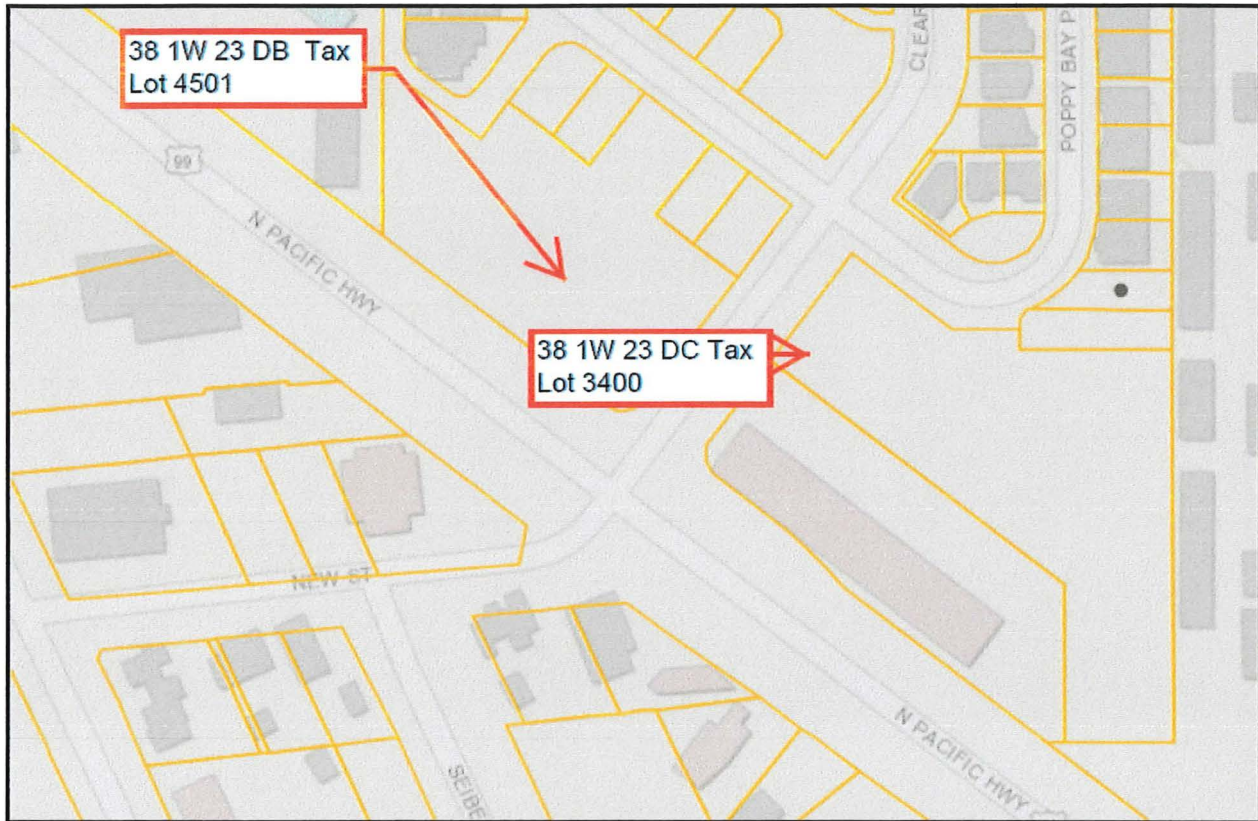
% SITE PLAN SHOWING DRIVE UP RE-LOCATED DRIVE-UP BANKING FACILITY TO BUILDING D LOCATION



**SITE PLAN SHOWING DRIVE UP LOCATION IN RELATION TO THE
LIVE WORK UNITS COMPLETED IN JANUARY 2019**

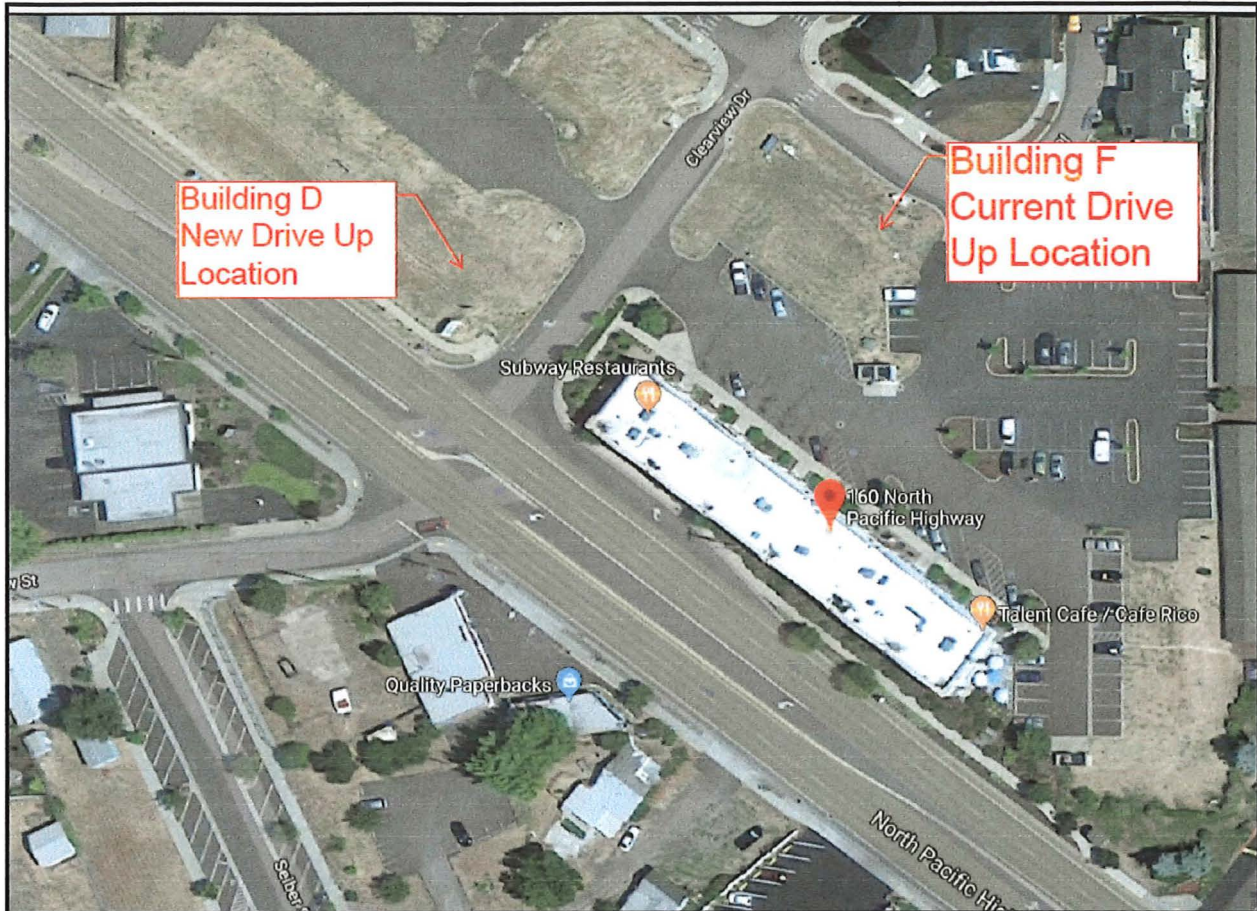
**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

EXHIBIT E PLAT MAP

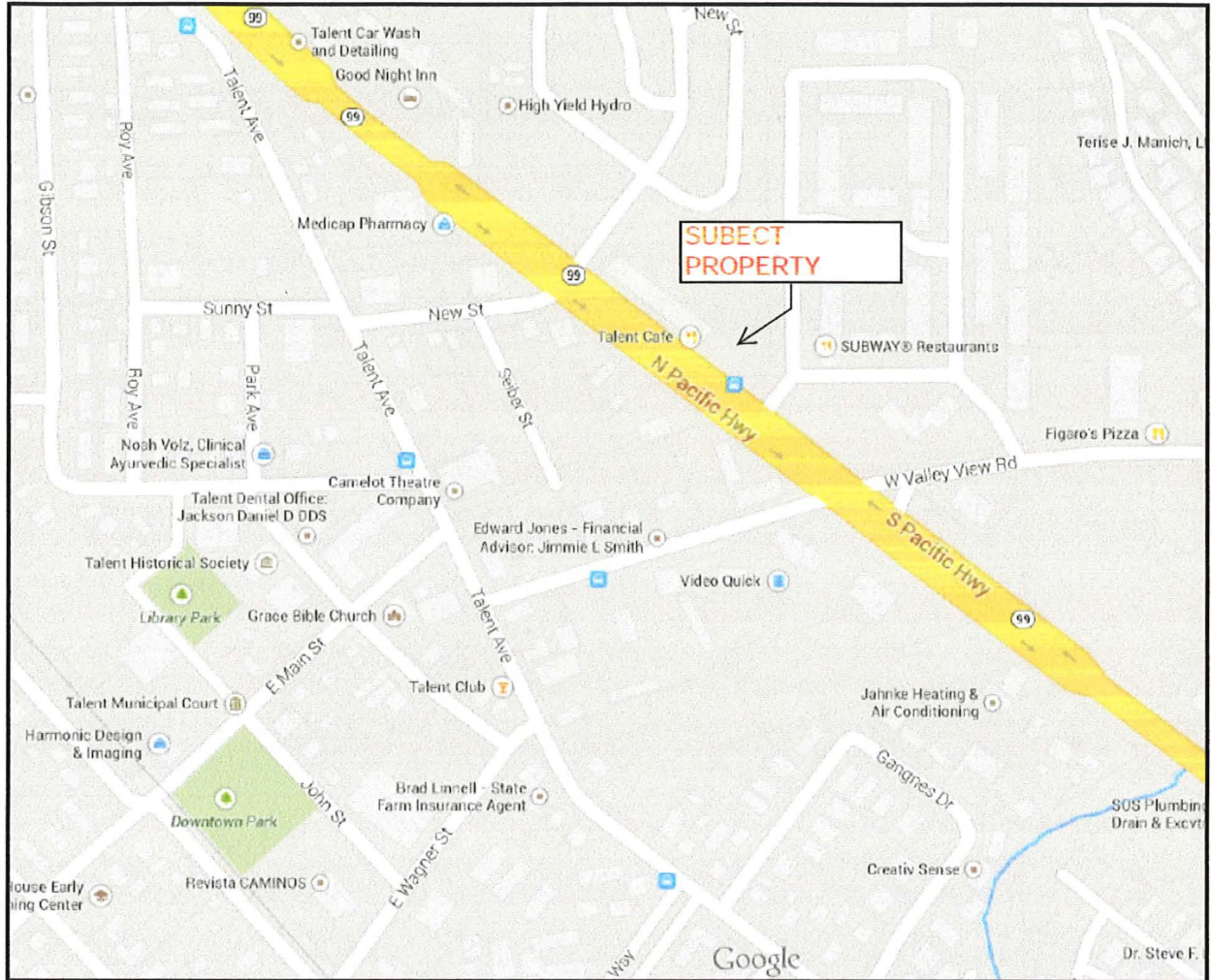


**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

EXHIBIT F LOCATION MAPS

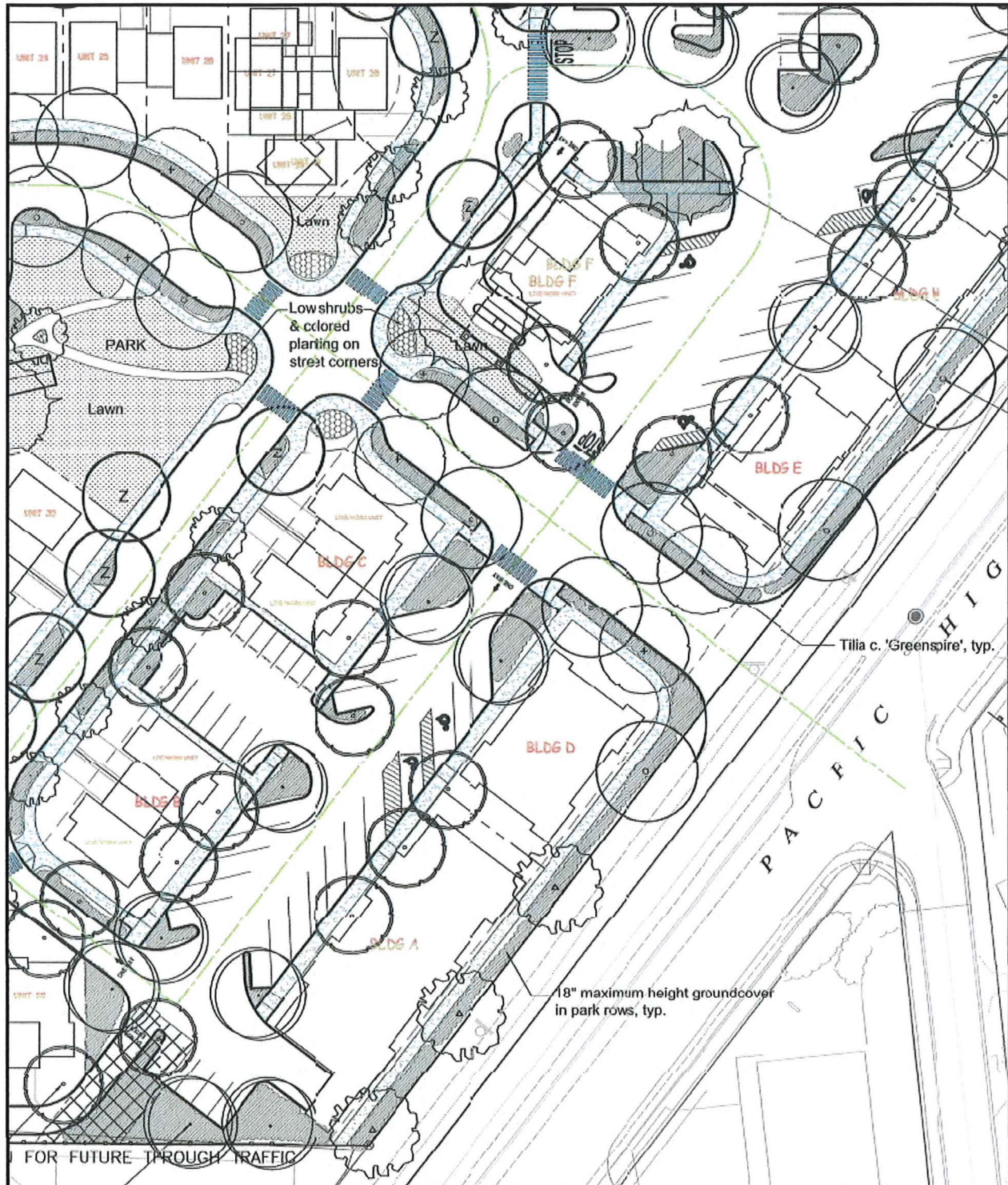


**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**



Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up

EXHIBIT G APPROVED PROJECT LANDSCAPE PLAN



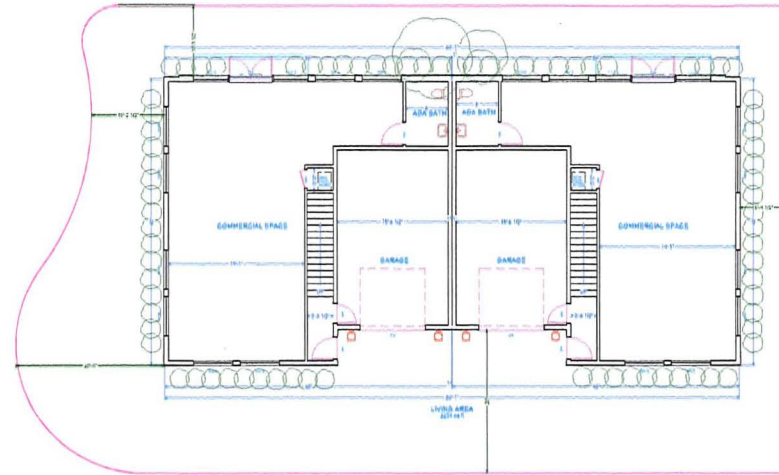
**Clearview of Talent Site Plan Modification July 2018
- Revised Building F and Relocated Bank Drive-Up**

***PLANS FOR NEW LIVE WORK
BUILDING F***

PROPOSED COMMERCIAL WITH RESIDENTIAL OVERLAY BUILDING



Renderings



SITE PLAN

PROJECT DESCRIPTION:

ADDRESS:
Poppy Bay Circle
Talent, Oregon

ZONING:
Live/Work

LEGAL DESCRIPTION:
381W23DC 3400
City of Talent, Jackson County, Oregon

LOT AREA:
6,616 sf - TAX LOT 3400

LOT COVERAGE:
Building Footprints : 2,990 sf
2,990 sf/6,616 sf = 45%
Max Allow is 45% Therefore OK

SQUARE FOOTAGE:

BUILDING:
1ST Floor: 2,234 SF
2ND Floor: 3,287 SF
TOTAL: 5,521 SF

Garage: 756 SF

EACH UNIT:
1ST Floor: 1,117 SF
2ND Floor: 1,643.5 SF
TOTAL: 2,760.5 SF

Garages: 378 SF



VICINITY PLAN

By the use of this building floor plan the owner warrants to comply with all applicable codes and regulations and to obtain all necessary permits and approvals. The contractor shall verify all dimensions and structural details. The contractor shall be responsible for any errors or omissions. The contractor shall be responsible for any errors or omissions. The contractor shall be responsible for any errors or omissions.

REVISION TABLE			
NUMBER	DATE	REVISIONS BY	DESCRIPTION

COMMERCIAL WITH RESIDENTIAL OVERLAY

COVER SHEET & SITE PLAN

DRAWINGS PROVIDED BY: KASAC ENGINEERING

DATE:

7/10/2018

SCALE:

SHEET:

A1.0

REVISION TABLE	DATE	REVISION

COMMERCIAL WITH
RESIDENTIAL OVERLAY

ELEVATIONS

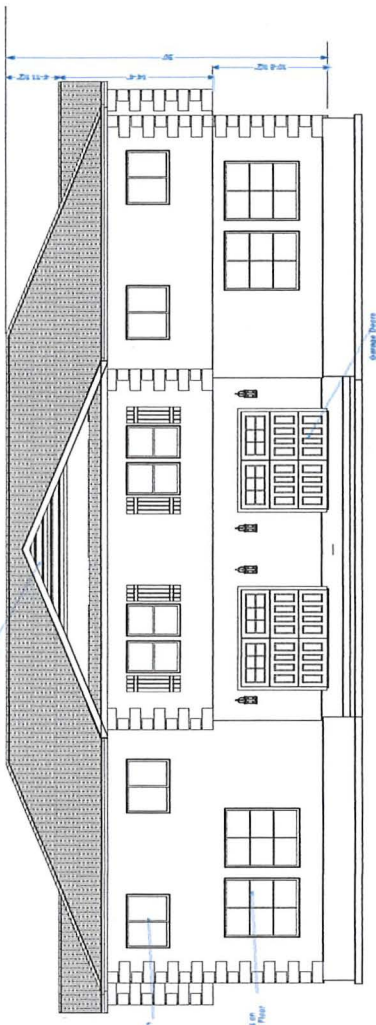
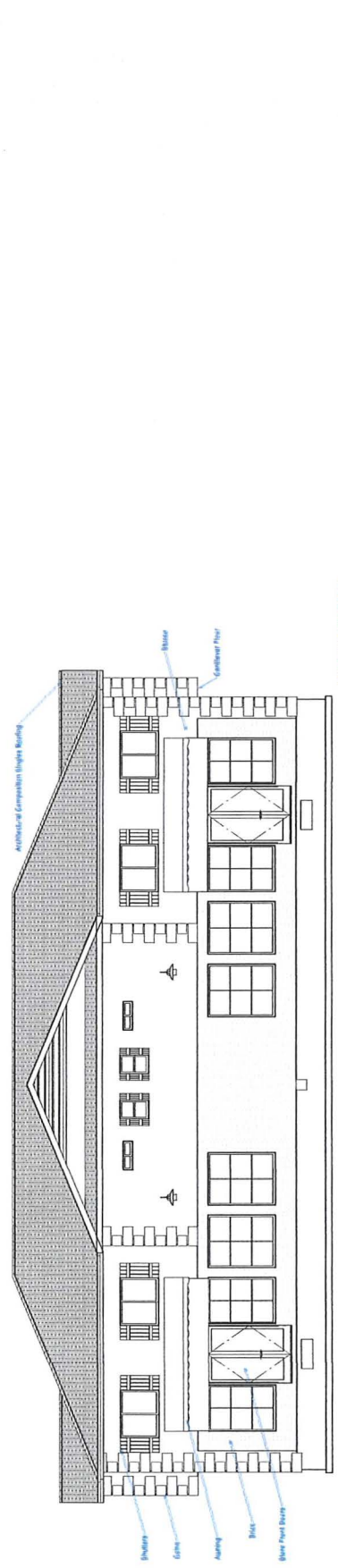
DRAWINGS PROVIDED BY: KACAC ROSENBERG

DATE:
7/10/2018

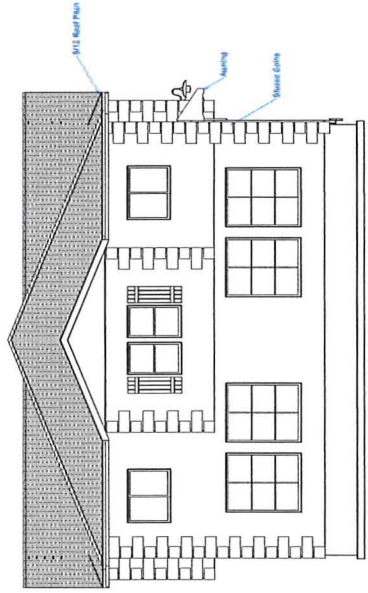
SCALE:

SHEET:

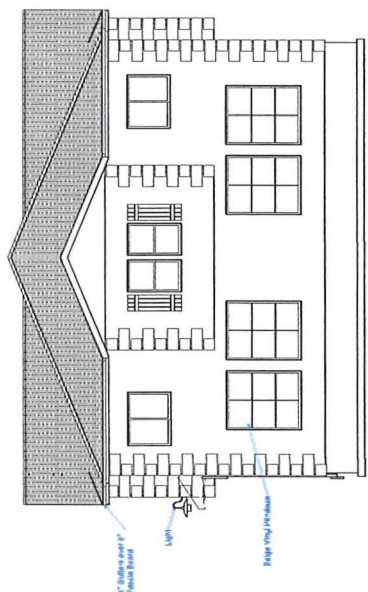
A.1.1



West Elevation

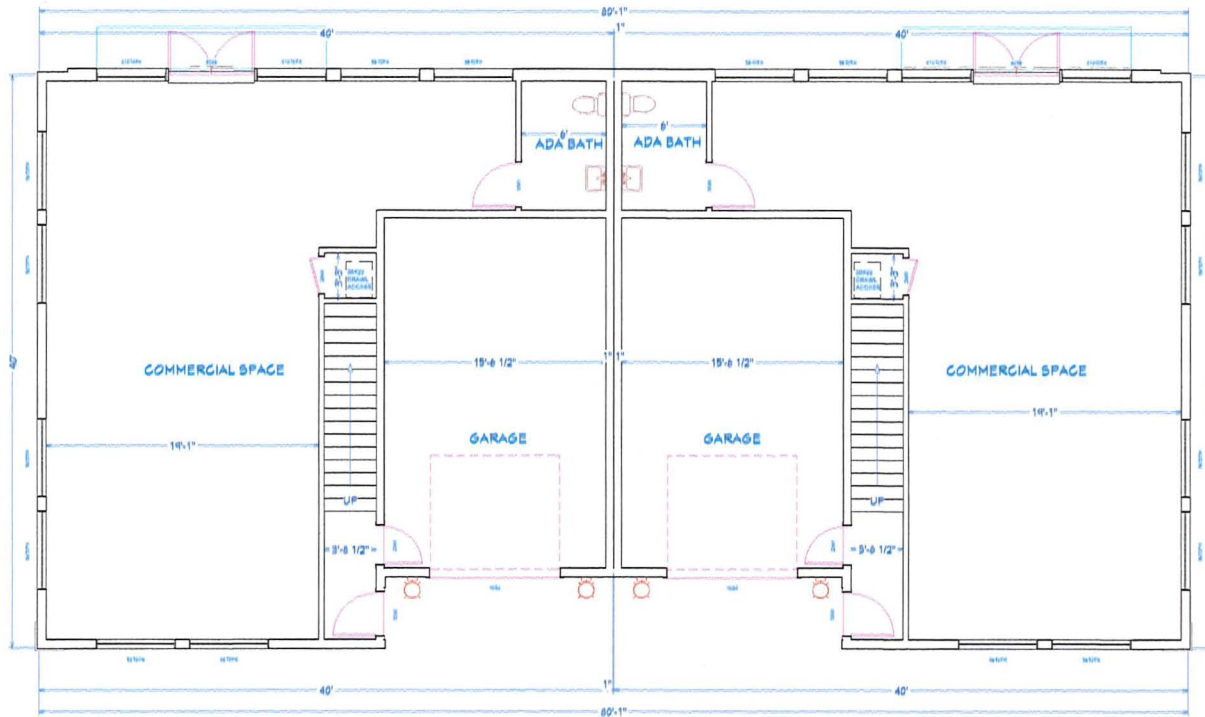


East Elevation



South Elevation

ELEVATIONS ARE AT 3/16"=1'-0" SCALE



1st Floor

WALL PANEL NOTES:

B.P. BRACED WALL PANEL
 3'-4" MIN. LENGTH w/ 7/16" OSB OR 1/2" PLYWOOD AND #6 COMMONS 8" o/c AT ALL PANEL EDGES, 12" o/c FIELD.

I.B.P. INTERIOR BRACED WALL PANEL
 1/2" GYP. BO PER R 802.10.3(5), 1/2 GWS EACH SIDE w/ #6 X 1 1/4 TYPE S OR W SCREWS PERB ASTM C1002 @ 7" o/c @ ALL SUPPORTS

A.B.P. ALTERNATE BRACED WALL PANEL
 2'-4" MIN. WIDTH w/ 7/16" OSB OR 1/2" PLYWOOD AND #6 COMMONS 8" o/c AT ALL PANEL EDGES, 12" o/c FIELD & (2) A.B. PER PANEL LOCATED AT 1/4 POINTS & 1800F MIN. HOLDDOWN EACH END (#HMH022 OR STD10)

LUMBER SPECS:

1. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2.
2. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER.
3. SILL PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
4. ALL STUDS TO BE DF#2 OR BETTER.
5. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 - a. ROOF SHEATHING SHALL BE 7/16" OSB;
 - b. WALL SHEATHING SHALL BE 7/16" OSB;
 - c. FLOOR SHEATHING SHALL BE 7/8" T & G INT-APA RATED OSB.

Continuously Sheathed Walls with Wood Structural Panels - Method 3

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

FRAMING NOTES:

PROVIDE DOUBLE JSTs. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

BEDROOM EXIT:
 PROVIDE ONE EXTERIOR DOOR OR OPENABLE WINDOW WITH A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR, A MINIMUM NET CLEAR OPENING OF 20" WIDTH, 24" HEIGHT, AND 5.7 SQ.FT. AREA

Arc Fault Circuit Protection required for all bedroom outlets.

Tamper Resistant Receptacles are required at all locations.

All Outside Receptacles Must be "WR" Rated (weather resistant).

50 percent of all permanently installed interior and exterior lighting fixtures on the building contain high efficiency lamps (minimum 40 lumens per watt)

GENERAL ELECTRICAL NOTES:

ALL ELECTRICAL OUTLETS TO BE PROVIDED AS REQUIRED BY CODE

PROVIDE SWITCHING AND WIRE FOR GARAGE DOOR OPENER

PROVIDE GFCI PROTECTION AT ALL BATH, KITCHEN, GARAGE, UTILITY AND EXTERIOR OUTLETS

PROVIDE SERVICE DISCONNECT FOR HVAC EQUIPMENT

VERIFY ALL LIGHTING AND ELECTRICAL REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION

SMOKE DETECTORS NOT WITHIN 36" OF AIR RETURNS OR BATHROOM DOORS

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION

COMMERCIAL WITH RESIDENTIAL OVERLAY

First Floor Plan

DRAWINGS PROVIDED BY: K&K2 CONSTRUCTION

DATE:

7/10/2018

SCALE:

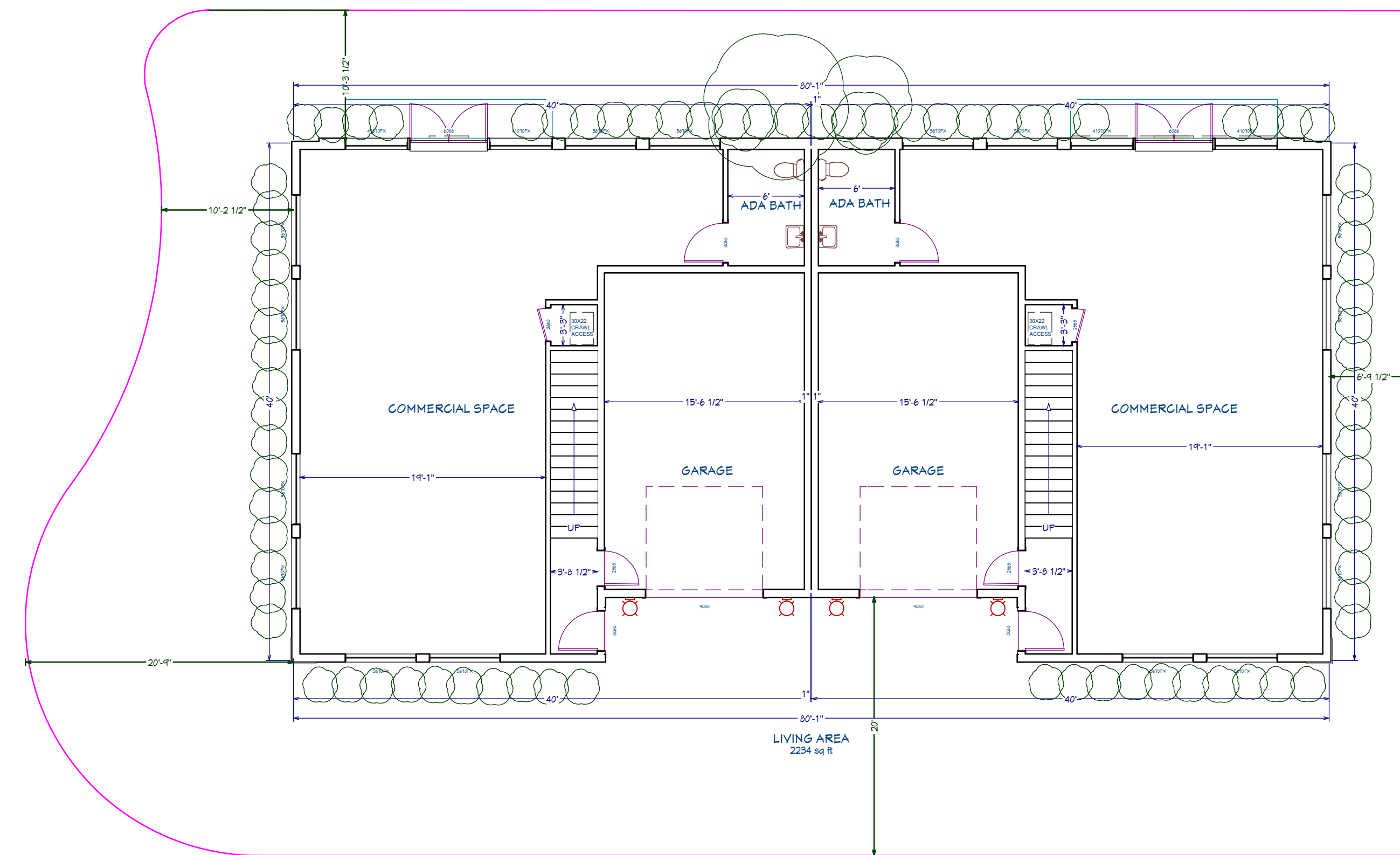
SHEET:

A1.2

PROPOSED COMMERCIAL WITH RESIDENTIAL OVERLAY BUILDING



Renderings



SITE PLAN



VICINITY PLAN

PROJECT DESCRIPTION:

ADDRESS:
Poppy Bay Circle
Talent, Oregon

ZONING:
Live/Work

LEGAL DESCRIPTION:
381N23DC 3400
City of Talent, Jackson County, Oregon

LOT AREA:
6,616 sf - TAX LOT 3400

LOT COVERAGE:
Building Footprints : 2,990 sf
2,990 sf/6,616 sf = 45%
Max Allow is 45% Therefore OK

SQUARE FOOTAGE:

BUILDING:
1ST Floor: 2,234 SF
2ND Floor: 3,287 SF
TOTAL: 5,521 SF

Garage: 756 SF

EACH UNIT:
1ST Floor: 1,117 SF
2ND Floor: 1,643.5 SF
TOTAL: 2,760.5 SF

Garages: 378 SF

NUMBER	DATE	REVISION	DESCRIPTION

**COMMERCIAL WITH
RESIDENTIAL OVERLAY**

**COVER SHEET &
SITE PLAN**

DRAWINGS PROVIDED BY: KARIC ROBERGE

DATE:

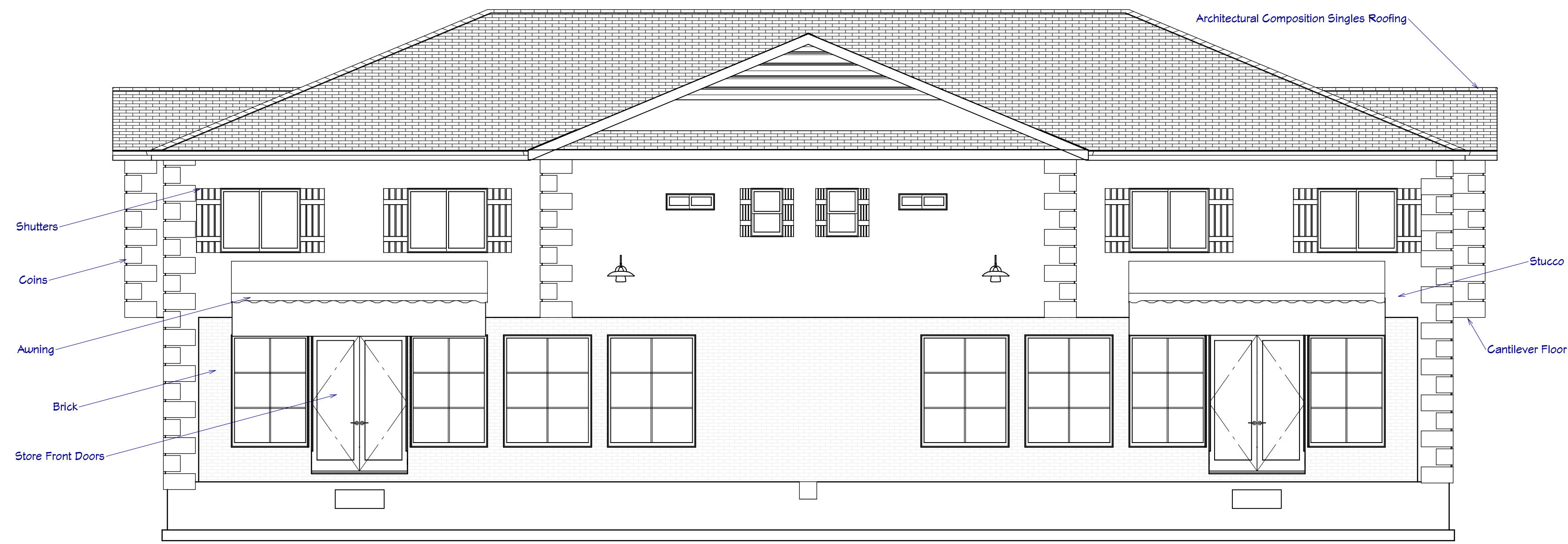
7/10/2018

SCALE:

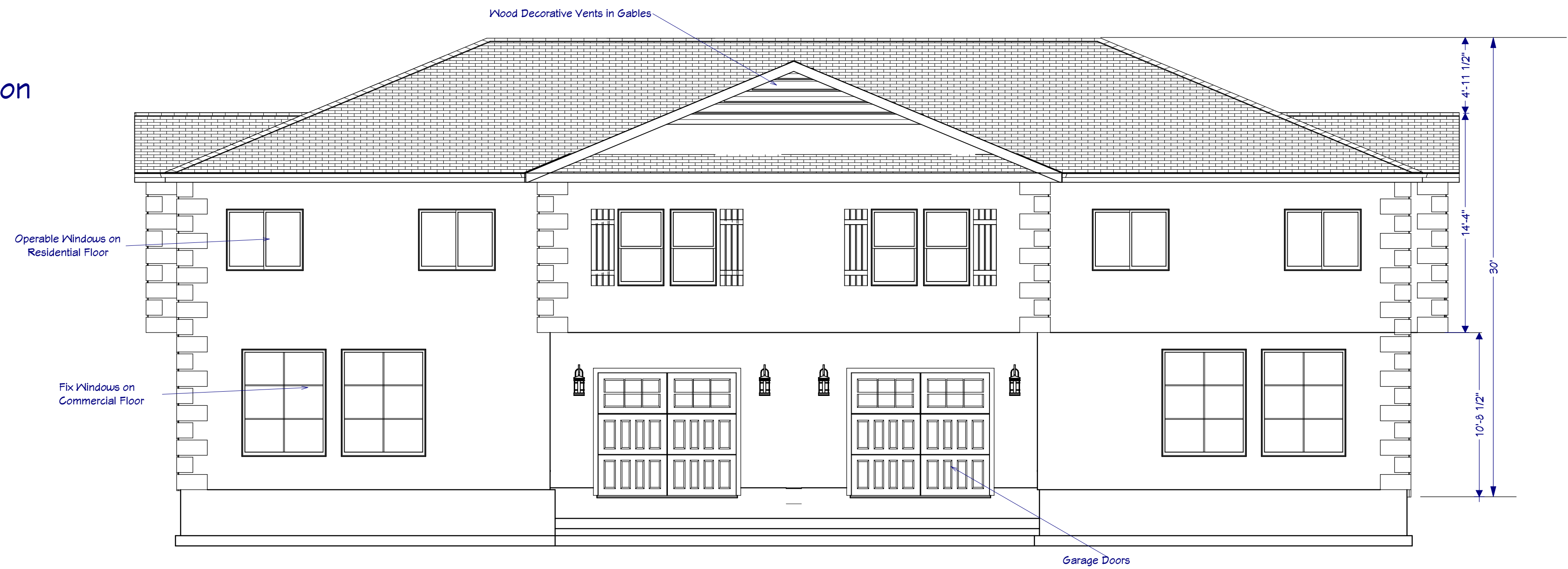
SHEET:

A1.0

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Draftsman is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



West Elevation



East Elevation



South Elevation



North Elevation

ELEVATIONS ARE AT 3/16"=1'-0" SCALE

REVISION TABLE	
NUMBER	DATE

COMMERCIAL WITH RESIDENTIAL OVERLAY

ELEVATIONS

DRAWINGS PROVIDED BY: KARIC ROBERGE

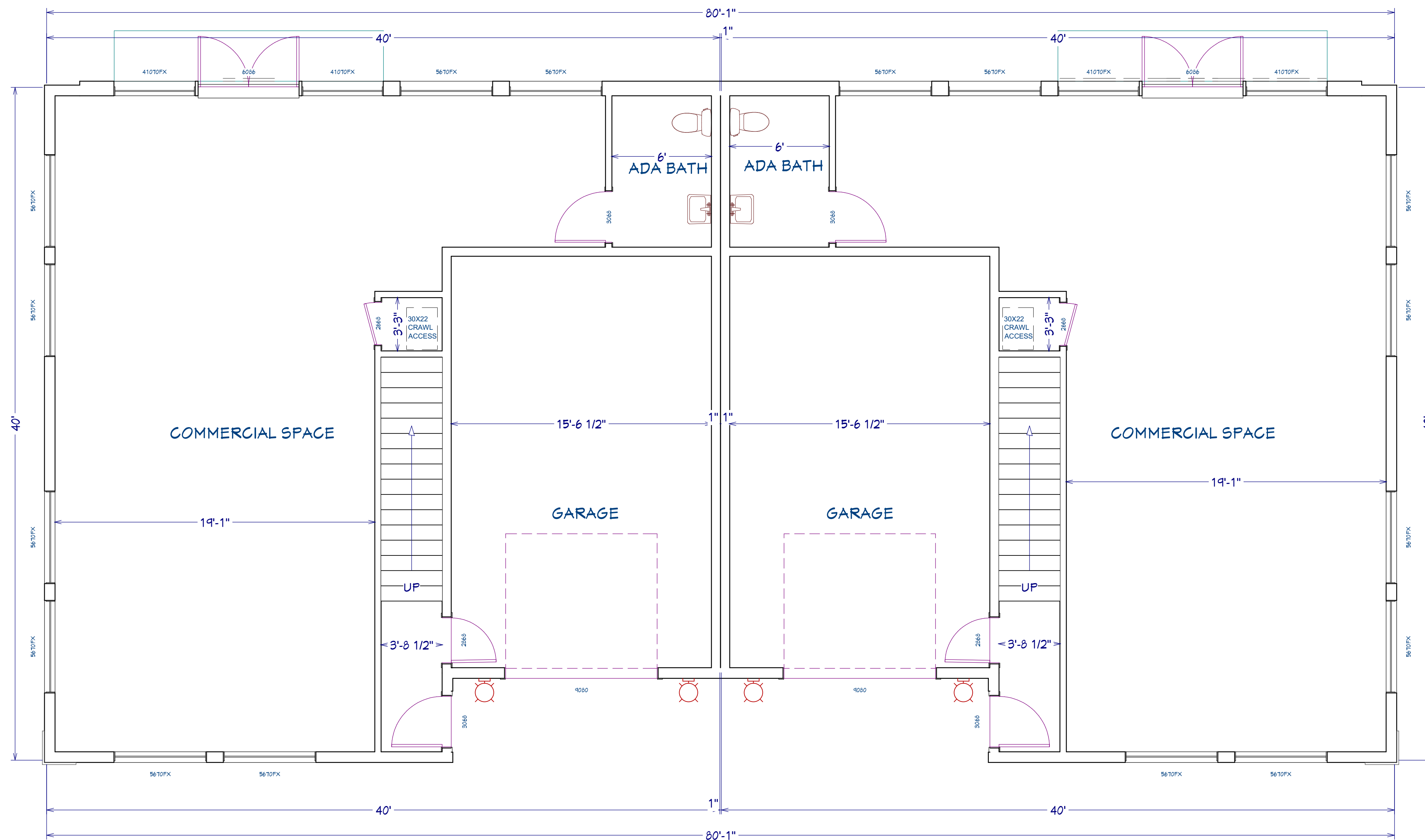
DATE:

7/10/2018

SCALE:

SHEET:

A1.1



1st Floor

Continuously Sheathed Walls with Wood Structural Panels - Method 3

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REVISION TABLE	
NUMBER	DATE

COMMERCIAL WITH RESIDENTIAL OVERLAY

First Floor Plan

DRAWINGS PROVIDED BY: KARIC ROBERGE

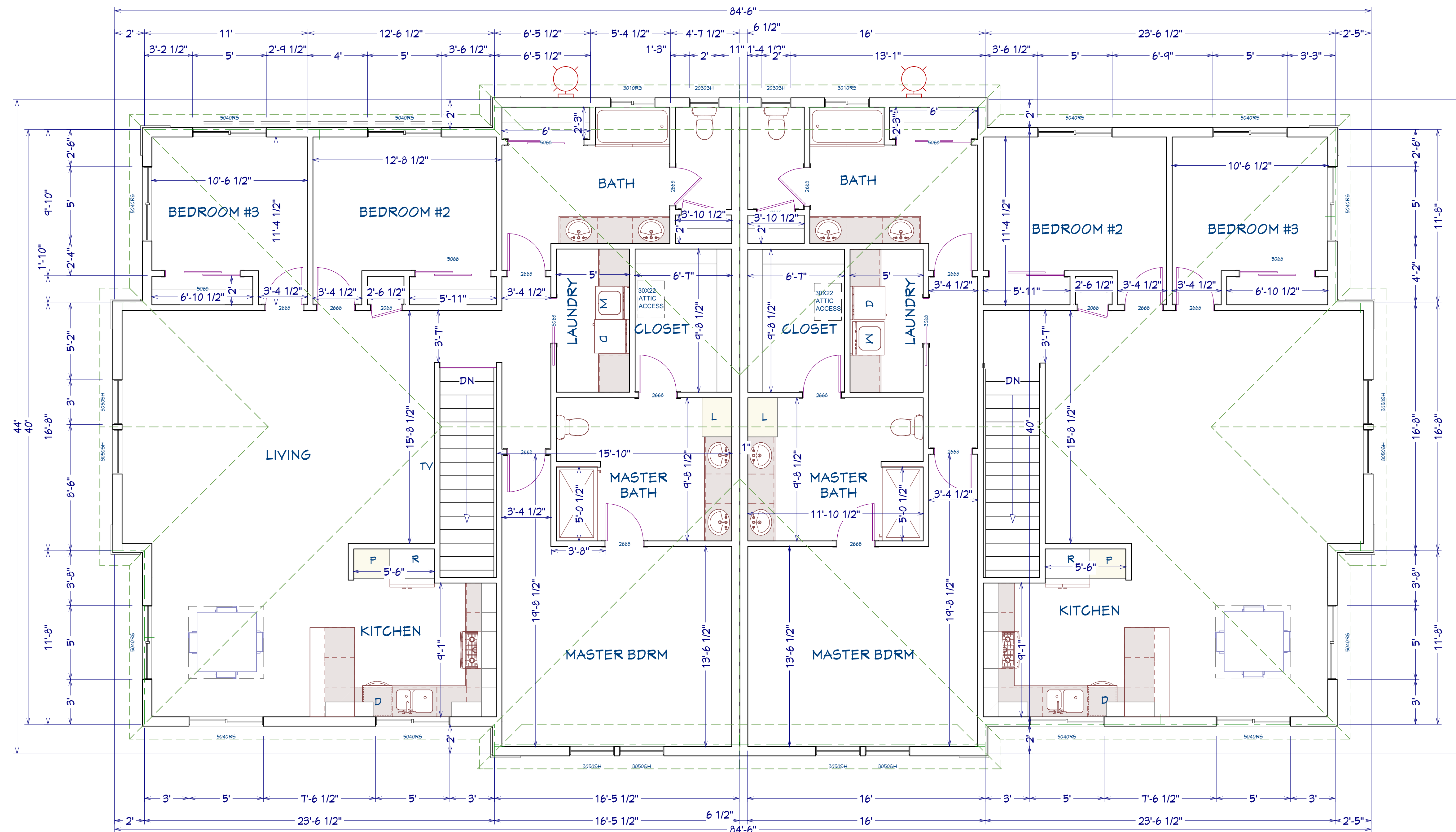
DATE:

7/10/2018

SCALE:

SHEET:

A1.2



LIVING AREA
3290 sq ft

2nd Floor

NUMBER	DATE	REVISION	DESCRIPTION

COMMERCIAL WITH
RESIDENTIAL OVERLAY

Second Floor Plan

DRAWINGS PROVIDED BY: KARIC ROBERGE

DATE:

7/10/2018

SCALE:

SHEET:

A1.3

